

### **AGENDA PLACEMENT FORM**

(Submission Deadline – Monday, 5:00 PM before Regular Court Meetings)

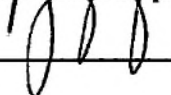
**Date:** June 26, 2024

**Meeting Date:** July 8, 2024

**Submitted By:** Julie Edmiston

**Department:** Public Works

**Signature of Elected Official/Department Head:**



<p><b>Court Decision:</b> This section to be completed by County Judge's Office</p> <div style="text-align: center;"> <b>July 8, 2024</b></div>
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**Description:**

Public Hearing for Proposed new language in Subdivision Rules and Regulations of Johnson County, Section XII Special District Regulations, Section IX General Road and Street Specifications, Appendix A Typical Roadway Sections.

Consideration to Approve Proposed new language in Subdivision Rules and Regulations of Johnson County, Section XII Special District Regulations, Section IX General Road and Street Specifications, Appendix A Typical Roadway Sections.

(May attach additional sheets if necessary)

**Person to Present:** Jennifer VanderLaan

(Presenter must be present for the item unless the item is on the Consent Agenda)

**Supporting Documentation:** (check one)     PUBLIC     CONFIDENTIAL

(PUBLIC documentation may be made available to the public prior to the Meeting)

**Estimated Length of Presentation:** 10 minutes

**Session Requested:** (check one)

Action Item     Consent     Workshop     Executive     Other \_\_\_\_\_

**Check All Departments That Have Been Notified:**

County Attorney     IT     Purchasing     Auditor  
 Personnel     Public Works     Facilities Management

Other Department/Official (list) \_\_\_\_\_

**Please List All External Persons Who Need a Copy of Signed Documents  
In Your Submission Email**

**SECTION IX**  
**General Road and Street Specifications**

**A. Street Specifications:**

The following improvements are required on new streets created by the subdivision:

- (a) The minimum gradient for a subdivision street shall be four-tenths (0.40) percent and the maximum gradient shall be ten (10) percent for streets with open bar ditches and the maximum gradient on curb and gutter streets shall be determined by the engineer designing the street for the public safety of persons using the street.
- (b) The owner shall remove any trees or obstructions from the right-of-way of the streets of the subdivision or a county road abutting the subdivision that are within the slope of the drainage ditches or within ten (10) feet of the curb of a curb and gutter street. All trees will be removed from drainage easements along the frontal slope.

**B. Right of Way:**

- (a) The owner shall provide for right-of-way on main artery streets or roads within the subdivision of a width of not less than sixty (60) feet or more than one hundred (100) feet as determined by the Public Works Department and the Commissioners Court.

Where a Farm to Market road, or State Highway abuts the subdivision, the owner shall set back the subdivision property line a minimum of forty (40) feet from the center line of the existing road to provide for future right-of-way development per TXDOT requirements.

- (b) Typical County Roads and streets or roads in the subdivision shall have a right-of-way of not less than sixty (60) feet. The owner shall provide drainage easements on lots to meet the requirements of the Drainage Construction Plans when the drainage ditches exceed the width of the platted right-of-way width.
- (a) Subdivisions bordering Johnson County Road 600 (E. Renfro) from Quill Miller Creek bridges south to State Highway 67 shall provide a minimum right-of-way of seventy (70) feet from the center line of the County Road 600 or more as determined by the Public Works Department and the Commissioners Court, or Texas Department of Transportation.

**C. Requirement for Street Pavement:**

All streets shown on the plat must meet the following specifications:

- (1) Roadway:  
The developer will build the roadbed and ditches to meet the requirements shown on Typical Section Sheets (Appendix A). The inside pavement edge of sharp curves shall be widened if deemed necessary by the Public Works Department.

The minimum design speed for local streets shall not be less than 30 miles per hour except where approved by the Commissioners Court in areas such as “Children at Play” in residential areas.

- (2) Sub-grade:  
*The sub-grade shall be lime stabilized with hydrated lime in the amount of thirty-five (35) pounds per square yard in slurry placing to a depth of eight (8) to ten (10) inches; or chemical injection may be applied in a like manner or to manufacturer specifications, whichever is greater. (Amended July 8, 2024).* A representative of the company providing the chemical shall be on sight during the chemical injection process. Additional density tests will be required for chemically injected roadbeds.

The material and lime shall be thoroughly mixed by approved road mixers or other approved equipment, and the mixing continued until, in the opinion of the Public Works Department, a homogeneous friable mixture of material and lime is obtained, such that when all nonslaking aggregates retained on the 3/4 sieve are removed, the remainder of the material shall meet the following requirements when tested from the roadway in the roadway condition by laboratory sieves:

Minimum passing	1-3/4 sieve	100%
Minimum passing	3/4 sieve	85%

The soil lime mixture shall be sprinkled during the mixing operation as directed by the Public Works Department to provide optimum moisture in the mixing.

During the interval of time between application and mixing, hydrated lime that has been exposed to the open air for a period of six (6) hours or more or has had excessive loss due to washing or blowing will not be accepted.

The Public Works Department, upon the basis of engineering reports provided and paid for by the owner, may entertain proposals for other types of lime and different percentages of lime.

Sandy soil shall be stabilized with concrete as determined by the results of laboratory test and approved engineering standards.

- (3) Base:  
After the sub-grade is completed it shall be covered with State approved crushed stone compacted to a depth of eight (8) inches to be laid in two (2) equal courses of four (4) inches each. (Physical Requirements for flexible base material, Type 'A' Grade 1 meeting the Texas Department of Public Transportation Standard Specifications). Developer or contractor will be required to provide copies of original delivery tickets on base material used.

- (4) Density:  
The sub-grade and base shall be density controlled in conformity with the regulations of the Texas Department of Highways and Public Transportation.

The base shall be a minimum of 95% Standard Proctor density as required by the Texas Department of Highways and Public Transportation.

The sub-grade shall be a minimum of 95% Standard Proctor density as required by the Texas Department of Highways and Public Transportation.

The Public Works Department shall control the frequency and number of density tests. The minimum number of tests on the sub-grade and base density shall be six (6) tests per one thousand feet of length of roadway.

The sub-grade and base courses shall be subject to density tests at the contractor's or owner's expense.

Random checking of thickness of the road base will be required at the time the final density test is performed.

- (5) Driving Surface:  
The driving surface may be a surface treatment of:
- Three (3) course surface treatment *using 3/8" pea gravel or 3/8" crushed stone;*
  - *Four (4) inches of hot plant mix asphalt. Layering shall be two (2) inches Type "D" topped by two (2) inches of Type "A" or Type "B" (Amended July, 8, 2024); or*
  - 5 inches of Concrete (*Amended August 22, 2022*)

- (6) Time of Driving Surface Application:

Asphalt application will be after April 15 and prior to October 15 of each calendar year.

The time may be extended to November 15 for Hot Mix Overlay (only) subject to the approval of the Public Works Director and the Commissioner of the Precinct.

(7) Concrete Street with Curb and Gutter:

A concrete curb and gutter street means a two-lane street with concrete curb and gutter that has a minimum street width of thirty-two (32) feet from back face of curb to back face of curb.

The natural sub-grade will be lime stabilized to eight (8) inches, with 7% lime and compacted density of 95%.

The gutter will be twenty-four (24) inches wide.

The concrete curb shall be a six (6) inch standard curb with a five (5) inch thick driving surface.

A concrete curb and gutter street shall meet all other specifications contained in these Subdivisions Rules and Regulations. The concrete curb and gutter shall be installed in accordance with the requirements shown on the diagrams in the Exhibits.

The concrete curb and gutter shall be installed prior to the driving surface being installed.

All concrete curb and gutter will be backed to undisturbed soil to maintain the integrity of the curbing.

8. Concrete Streets without curbing:

On concrete streets without curb and gutter, the shoulders will be of flexible base material with three (3) foot minimum continuance of pavement depth with a one (1) foot minimum width of slope to sub-grade level.

9. Paved Surface:

All roads inside subdivision will have a minimum paved surface of twenty-two feet (22') *with base material extending six (6) feet beyond the edge of paving for* a minimum of thirty-four (34') feet of base material. *(Amended July 8, 2024).*

Cul-de-sacs will have a minimum 60' paved and 80' radius of base material. (r.o.w. 160').

*In special district subdivisions where the lot frontage is proposed to be less than sixty (60) feet, the following design provisions, in addition to any other design feature(s) necessary to protect and/or improve the health, safety, and welfare of the citizens of Johnson County, must be met to ensure the safe access and mobility of both emergency vehicles and residents of the subdivision:*

- a) Subdivisions proposing to utilize streets with open bar ditches shall be required to provide a minimum pavement width of twenty-six (26) feet with base material extending six (6) feet beyond the edge of paving for with a minimum of thirty-eight (38") feet of base material.*
- b) Subdivisions proposing to utilize curb and gutter shall be required to provide a minimum pavement width of thirty-six (36) feet from back face of curb to back face of curb. (Amended July 8, 2024).*

#### ***D. Driveways***

*(1) Spacing:*

*Driveways shall be spaced so conflicting movements do not overlap at adjacent driveways or at driveways on opposite sides of the roadway. The minimum spacing between driveways shall be forty-five (45) feet from edge to edge.*

*(2) Separation from Property Line:*

*Driveways shall be required to be located no closer than five (5) feet from property line to edge of paving/driving surface. Shared driveways will be allowed with the approval of the Commissioners Court on a case-by-case basis.*

*(3) Connection to State Highways:*

*Driveway connections to roadways under TXDOT authority shall be governed by the rules and requirements of the TXDOT Roadway Design Manual in effect at the time of application. (Amended July 8, 2024).*

### ***SECTION XII*** ***Special District Regulations***

***Purpose & Intent***

*These regulations shall exclusively apply to any development described within the boundaries of*



*an approved special purpose district created for land development. These shall include, but are not limited to, the following:*

- (i) Fresh Water Supply Districts, as defined in Chapter 53 of the Texas Water Code,*
- (ii) Municipal Utility Districts, as defined in Chapter 54 of the Texas Water Code,*
- (iii) Regional Districts, as defined in Chapter 59 of the Texas Water Code,*
- (iv) or other special purpose district not mentioned above, created by a local government body, the State Legislature, or the Texas Commission on Environmental Quality.*
- (v) An approved and active sewer CCN with available capacity and infrastructure as determined by the governing entity. Amended July 8, 2024.*

*Proof of creation.*

*Approval and certification of the special district's creation shall be submitted prior to any civil engineering or plat application and review process.*

*Adequate water and wastewater collection and treatment.*

*The developer shall submit a plan and documentation from the TCEQ approved water provider for providing adequate water and sewer service within the proposed subdivision.*

*The developer shall furnish a certified letter from an approved Texas Commission on Environmental Quality (TCEQ) utility service provider stating that water is available to the subdivision sufficient in quality and quantity to meet minimum state standards required by Section 16.343, Water Code, and consistent with the certification in the letter, and that water of that quality and quantity will be made available to the point of delivery to all lots in the subdivision.*

*The utility provider(s) should indicate that the utility plans have been reviewed and approved. If a separate utility easement is required by the water provider, it shall be indicated on the plat.*

*Maintenance Dedication.*

*Plat shall include a dedication statement that maintenance of paved roads, drainage, and infrastructure necessary (i.e., sewer, water, etc.) shall be exclusively be the responsibility of the District, subject to the terms of any development agreement.*

*Development Standards*

*The following specific development standards shall apply to Special Districts, in addition to general platting requirements.*

<i>Regulation</i>	<i>Johnson County Regulations</i>	<i>Special District Regulations</i>
<i>Minimum lot size</i>	<i>One (1) acre</i>	<i>N/A, unless using OSSF.</i>
<i>Minimum lot width</i>	<i>150 feet</i>	<i>N/A, unless using OSSF. Amended July 8, 2024</i>
<i>Right-of-way width</i>	<i>60 feet</i>	<i>60 feet with bar ditches, 50 feet curb and gutter with storm drains, unless subject to Thoroughfare Plan requirement.</i>

<i>Front utility easements</i>	<i>15 feet</i>	<i>N/A</i>
<i>Rear utility easements</i>	<i>10 feet</i>	<i>N/A</i>
<i>Side utility easements</i>	<i>5 feet</i>	<i>N/A</i>
<i>Cul-de-sac radius</i>	<i>80 feet</i>	<i>N/A</i>
<i>Lot frontage measured around a cul- de-sac</i>	<i>60 feet</i>	<i>50 feet as measured at the building line, unless frontage along the county-maintained roadway.</i>

*Discretionary Recommendations*

*Voluntary Developer Agreements.*

*County recommends a signed and executed development agreement with the city if located in the extraterritorial jurisdiction (ETJ), or a signed agreement between the developer and the County that is filed in the Clerk’s Office prior to any civil engineering or plat application and review process.*

*This agreement may include but not limited to items such as development standards, landscaping requirements, utilities, fence/screening requirements, building material, amenities provided, roof pitch, setbacks, house sizes, paving standards, terms of annexation, permits, and inspections, etc.*

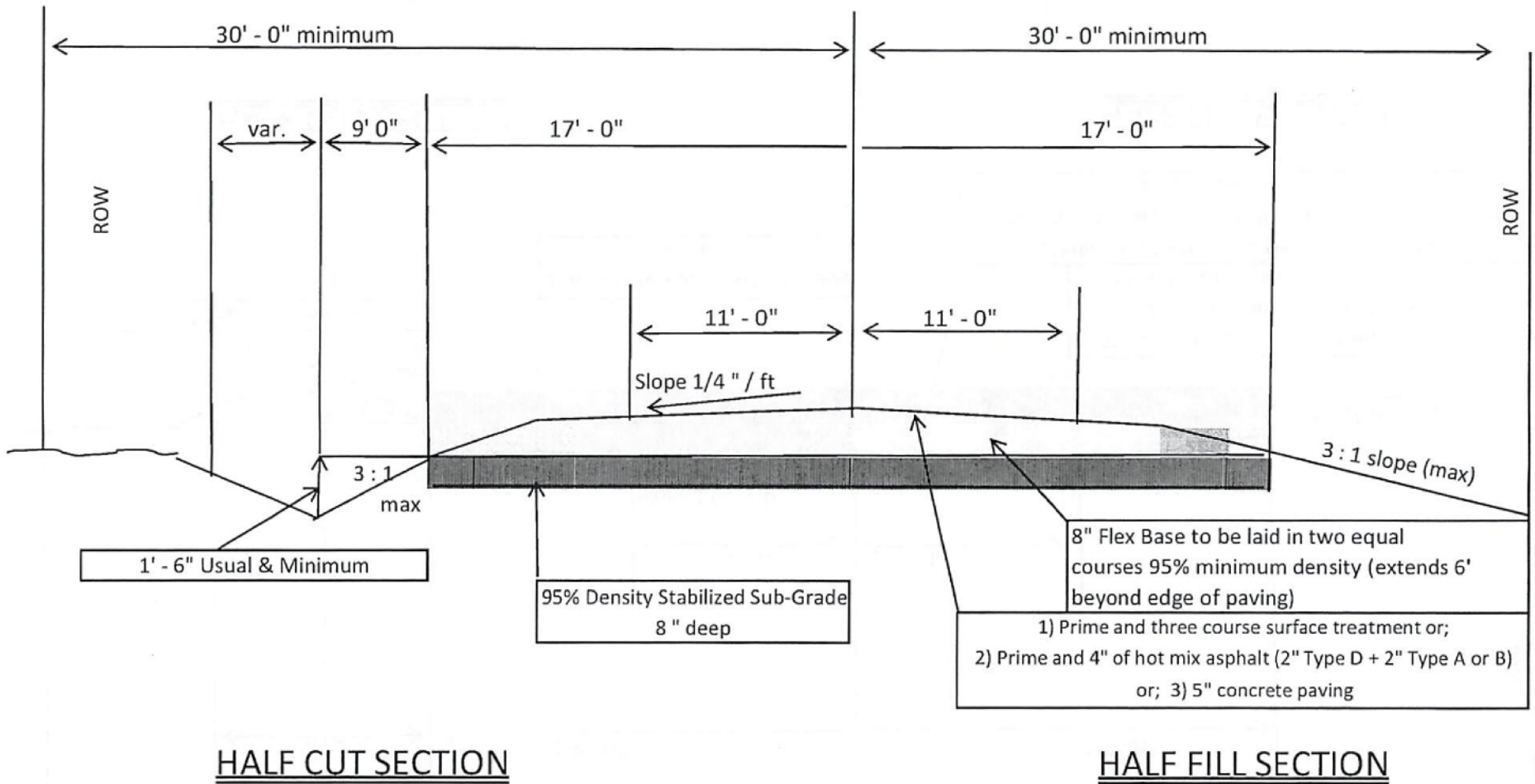
*Voluntary Service Agreements.*

*County recommends a signed and executed agreement for government-related services with the County or adjacent municipal government prior to any civil engineering or plat application and review process.*

*These services may include but not limited to the following:*

- police-related services;*                      *trash and recycling-related services;*
- fire-related services;*                      *education-related services (i.e. school site dedications, etc.);*
- EMS-related services; healthcare-related services. (Amended October 10, 2023).*

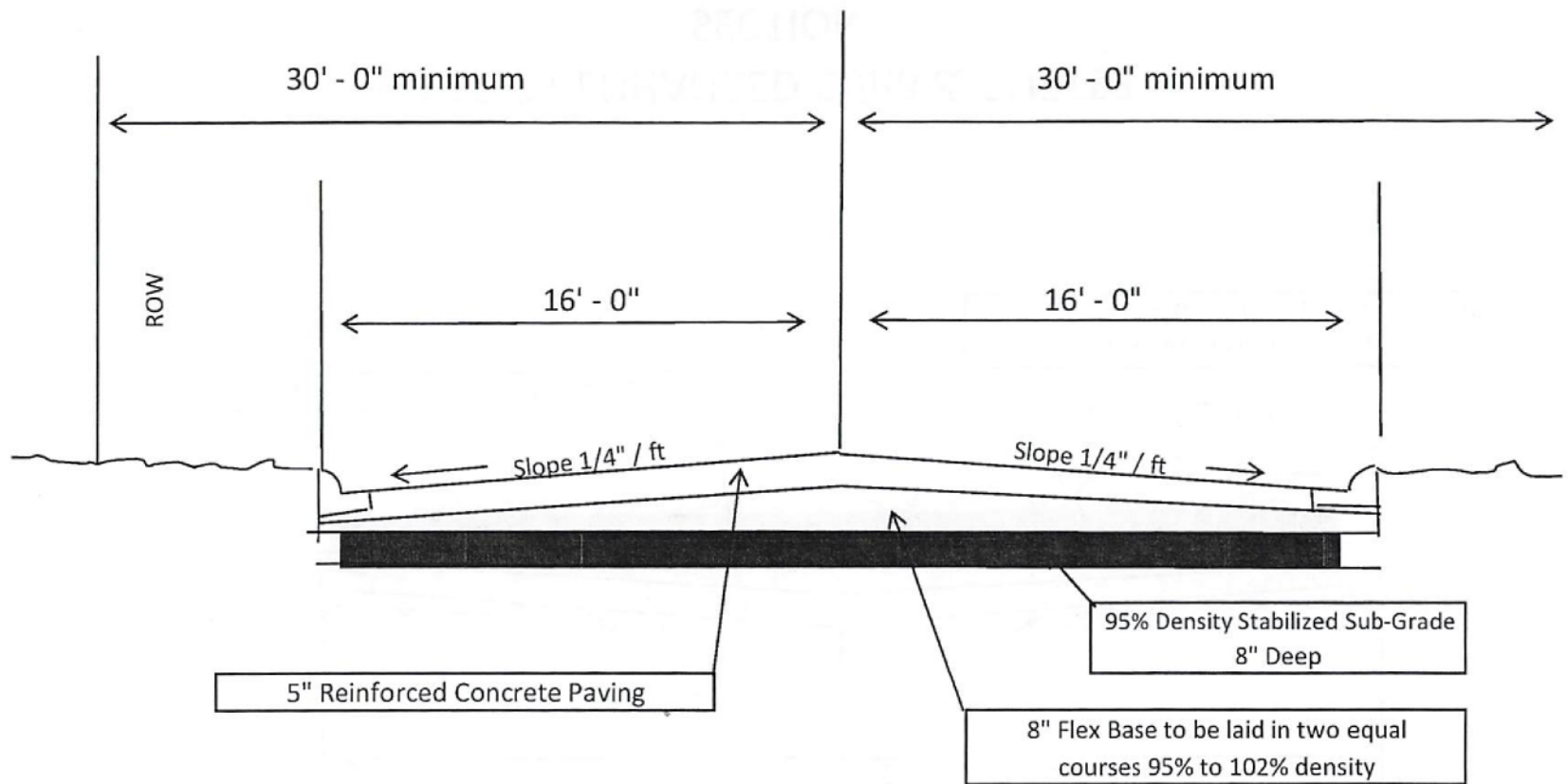




TYPICAL ROADWAY SECTION

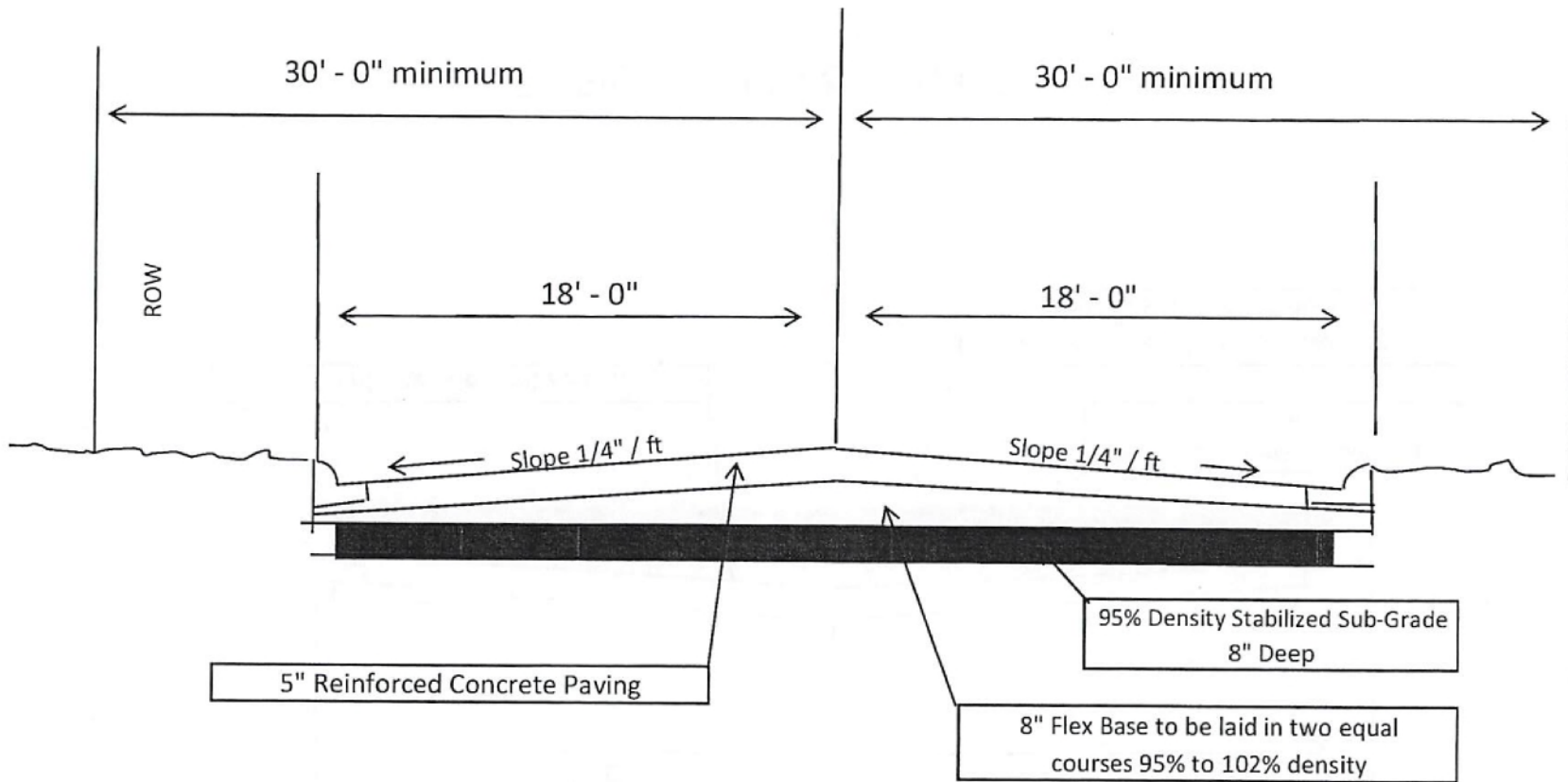
Figure 7





TYPICAL CURB & GUTTER SECTION

Figure 8



## SAFETY ENHANCED CURB & GUTTER SECTION

Figure 8a



# NOTICE OF PUBLIC HEARING

July 8, 2024

Pursuant to Chapter 232 of the Texas Local Government Code, the Johnson County Commissioners Court will consider proposed revisions to the Subdivision Rules and Regulations of Johnson County:

Section XII Special District Regulations  
Section IX General Road and Street Specifications  
Appendix A Typical Roadway Sections

At: **9:00 o'clock a.m.** on: Monday, July 8, 2024 in the  
Commissioners' Courtroom on the second floor  
of the Johnson County Courthouse  
2 North Main Street, Cleburne, Texas 76033

Published in '*Times Review*' classified section under 'LEGAL NOTICE' on this date:

June 27th, 2024